



# 477 9th Avenue

Five-Story Office/Residential  
Mixed-Use Development  
(PA-2022-004)

Planning Commission Study Session  
May 24, 2022

Linda Ly, Associate Planner  
Community Development Department



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Five-Story Office/Residential  
Mixed-Use Development  
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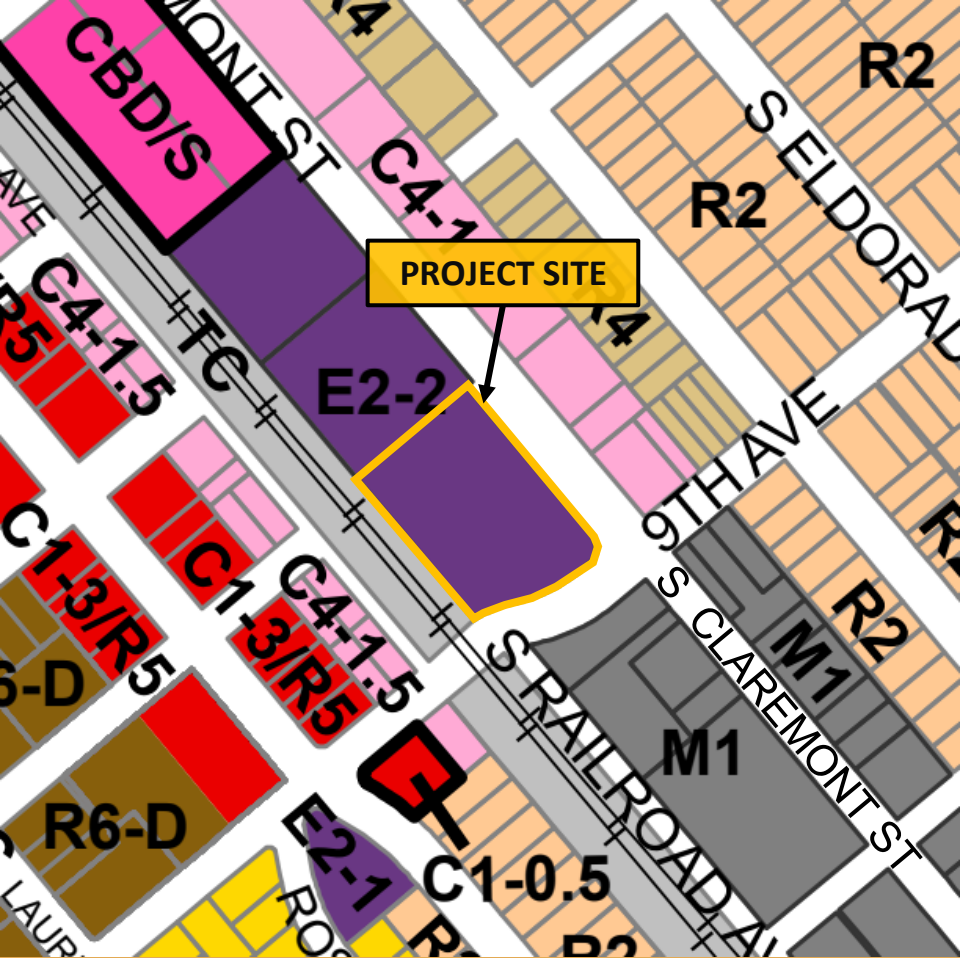
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## PROJECT SITE

- 1 parcel, bounded by:
  - S. Claremont Street
  - 9<sup>th</sup> Avenue
  - Caltrain Rail Corridor
- 1.6 acre
- General Plan Land Use – Executive Office
- Zoning – E2-2, Executive Offices



# SURROUNDING USES



*Project site*



*North*



*South*



*East*



*West*

# PROJECT DESCRIPTION

- Five-Story Mixed Use Building
- Total Floor Area – 209,204 sq. ft.
  - 28,100 sq. ft. of Office Uses
- 120 Residential Units (Rental):
  - 15% or 12 affordable units at very-low income level
  - 24 studios, 64 one-bedroom, and 32 two-bedrooms
- 168 parking spaces:
  - 120 for residents; 48 for offices



# CODE AND POLICY REVIEW

- **General Plan Land Use**
  - Executive Office
- **Zoning**
  - E2-2, Executive Offices
- **Downtown Area Plan**
  - South Claremont Sub-Area
- **Central Parking Improvement District (CPID)**
  - Parking Demand Study
  - CPID In-Lieu Fees

|                            | Proposed   | Maximum     |
|----------------------------|------------|-------------|
| Floor Area Ratio           | 3.0*       | 2.0         |
| Density                    | 75 du/acre | 75 du/acre* |
| Building Height            | 53'-6"     | 55'-0"      |
|                            | Proposed   | Minimum     |
| Setbacks (Street Frontage) | 7'-6"      | 7'-6"       |
| Residential Parking        | 120        | 60*         |
| Office Parking             | 48         | 74**        |
| Short-Term Bicycle         | 10         | 10          |
| Long-Term Bicycle          | 132        | 132         |
| At-Grade Open Space        | 16%*       | 20%         |

\* State Density Bonus Request

\*\* Pending Parking Demand Study



# CODE AND POLICY REVIEW

- **Pedestrian Master Plan**

- Overall Sidewalk Width: 16' to 26'
- Superseded by Zoning Code

- **Bicycle Master Plan**

- 9<sup>th</sup> Ave. – Class II Bike Lane (Existing)
- S. Claremont St. – Class III Bicycle Boulevard

- **Below Market Rate (Inclusionary) Program**

- 15% of rental units will be affordable at very low income

- **Commercial Linkage Fee**

- Applicable to all net new office/commercial square footage over 5,000 sq. ft.

# CODE AND POLICY REVIEW

- **Housing Accountability Act**
- **Housing Crisis Act (Senate Bill 330)**
- **State Density Bonus Law**
  - Reduced parking ratio (0.5 space/unit) for projects within one-half mile of a major transit stop (Caltrain)
  - Concessions:
    1. Increase maximum FAR from 2.0 to 3.0
    2. Reduce at-grade open space from 20% to 16%

| Base Density             | Density Bonus                   | Combined Density                |
|--------------------------|---------------------------------|---------------------------------|
| 80 Units<br>(50 du/acre) | 40 units<br>(50% Bonus)         | 120 Units<br>(75 du/acre)       |
| <i>Proposed Density</i>  | <i>120 Units (75 du/acres)</i>  |                                 |
| % Affordable             | 12 units (15%) Very Low Income  |                                 |
| Parking                  | Proposed                        | Minimum                         |
| Residential              | 120<br>(1 stall/unit)           | 60<br>(0.5 stall/unit)          |
| Office                   | 48<br>(1.7 stall/1,000 sq. ft.) | 74<br>(2.6 stall/1,000 sq. ft.) |

# PUBLIC COMMENTS

- Neighborhood meeting on April 14, 2022, attended by 13 community members
- Public comment letters
- Common issues raised:
  - Building height and size – concern for neighborhood scale
  - Parking, traffic and congestion impact
  - Preserve existing Oak Trees
  - Architectural style
  - Unit mix



# DISCUSSION TOPICS

- Building Design
- Site Plan and Landscape
- Other

# DISCUSSION TOPICS

- **Building Design**
  - Site Plan and Landscape
  - Other
- 
- *Spanish Mission Revival Style*

Perspective – East on 9<sup>th</sup> Ave.



Perspective – North on S. Railroad Ave.



# DISCUSSION TOPICS

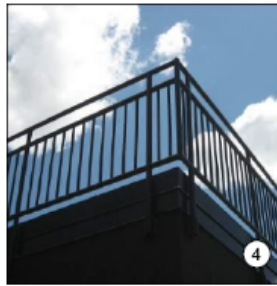
- **Building Design**
- Site Plan and Landscape
- Other
  
- *Spanish Mission Revival Style*
- *Façade Treatments*





# DISCUSSION TOPICS

- **Building Design**
- Site Plan and Landscape
- Other
- *Spanish Mission Revival Style*
- *Façade Treatments*
- *Exterior Materials*



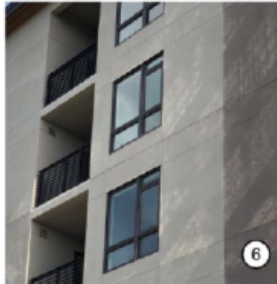
RAILING, HOT-DIP GALV.  
PTD ARCH BRONZE



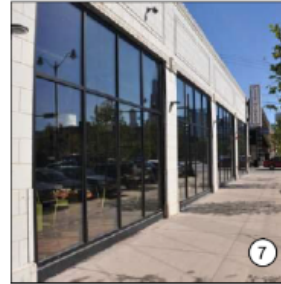
METAL AWNING,  
NON-RAIN THRU



ASHPALT SHINGLE ROOF, 30  
YEAR-WARRANTY



VINYL NAIL-FIN WINDOW  
FIN ARCH BRONZE



STOREFRONT  
FIN ARCH BRONZE



CEMENT PLASTER:  
SMOOTH SAND



CAST IN PLACE  
CONCRETE, SEALED



# DISCUSSION TOPICS

- **Building Design**
  - Site Plan and Landscape
  - Other
- 
- *Spanish Mission Revival Style*
  - *Façade Treatments*
  - *Exterior Materials*
  - *Contrast to surrounding low-scale neighborhood*



# DISCUSSION TOPICS

- **Building Design**
- Site Plan and Landscape
- Other

1. What design treatments and/or modifications to the overall building mass and scale should the applicant consider to improve its relationship to the lower scale surrounding context?
2. Are there any suggested design revisions for the elevation facing the railroad tracks? Is this a façade that could be improved with public art or other elements?

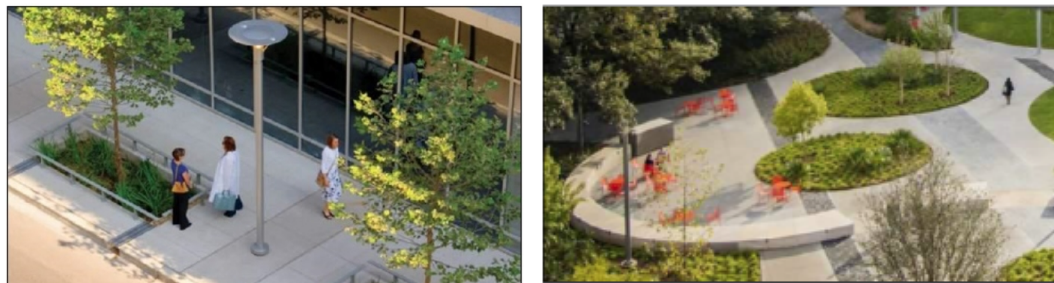




- Building Design
- **Site Plan and Landscape**
- Other

- Transition to the Downtown Retail Core
- Public Plaza
- At-grade open space

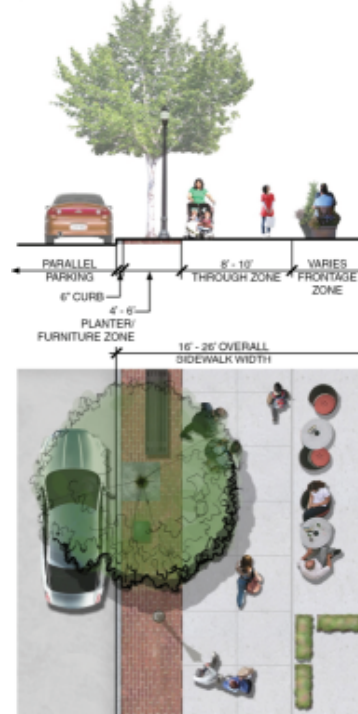


# DISCUSSION TOPICS

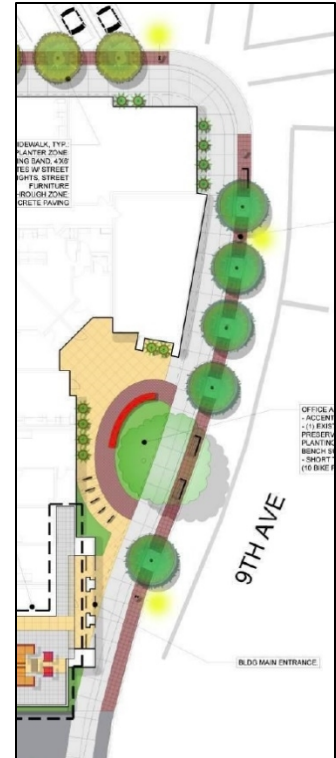
- Building Design
- **Site Plan and Landscape**
- Other
- Transition to the Downtown Retail Core
- Public Plaza
- At-grade open space
- Pedestrian Master Plan

## Pedestrian Master Plan 16' to 26'

*Type B - Mixed Use with Street Parking*



## Proposed Sidewalk 12'



# DISCUSSION TOPICS

- Building Design
- **Site Plan and Landscape**
- Other

1. Does the proposed building accomplish a transition from the railroad tracks to the Downtown Retail Core?
2. For the public plaza area on 9th Avenue, what seating, bike parking and art elements should be incorporated?
3. What site plan and/or landscape treatments should the applicant consider to improve the pedestrian realm?



# DISCUSSION TOPICS

- Building Design
  - Site Plan and Landscape
  - **Other**
- Other project aspects that should be considered during the formal planning application
  - Entitlements:
    - Site Plan and Architectural Review (SPAR)
      - Proposed building
    - Site Development Planning Application (SDPA)
      - Removal of major vegetation and trees
    - Special Use Permit (SUP)
      - Residential Use



# DISCUSSION TOPICS

## 1. Building Design

- *How can the project improve the overall building mass and scale, and its relationship to the lower scale surrounding context?*
- *Are there any suggested design revisions for the elevation facing the railroad tracks?*
- *Is this a façade that could be improved with public art or other elements?*

## 2. Site Plan and Landscape

- *Does the proposed building accomplish a transition to the Downtown Retail Core?*
- *What seating, bike parking and art elements should be incorporated in the public plaza area?*
- *Additional site plan and/or landscape treatments to improve the pedestrian realm?*

## 3. Other?

# Thank You

Linda Ly, Associate Planner  
Community Development Department  
[LLy@cityofsanmateo.org](mailto:LLy@cityofsanmateo.org) | (650) 522-7217